



# COMPRHENSIVE ZONING CODE UPDATE

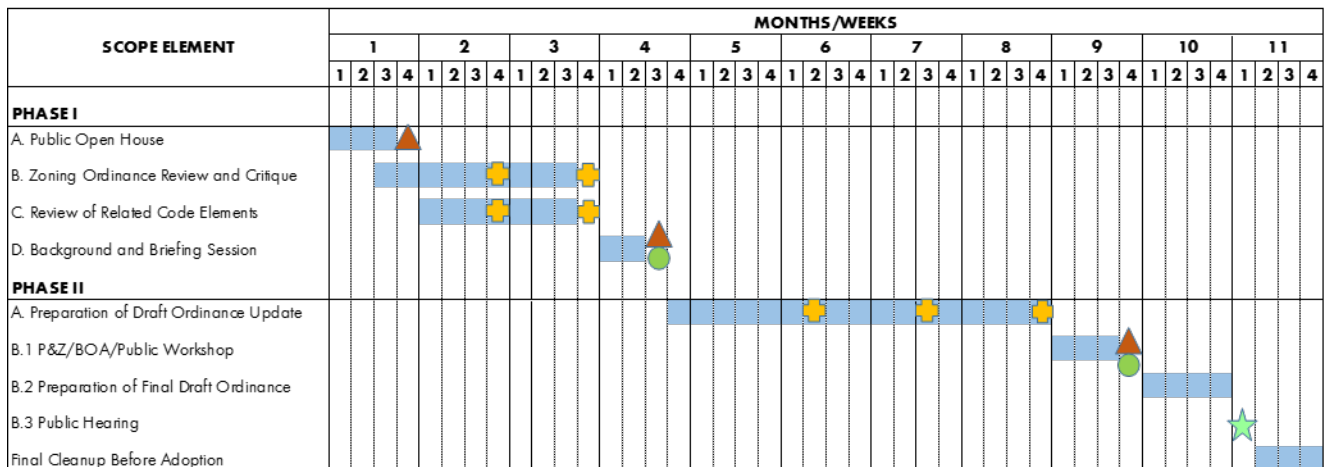
## PROJECT DESCRIPTION

The City of Crestwood is currently engaged in the first comprehensive zoning code update since 1989. To accomplish this, the City has hired PGAV Planners, a planning consulting firm, to conduct a series of workshops where residents, business owners, elected and appointed officials, and other stakeholders will work together to create a vision for the zoning and sign codes. PGAV Planners is partnering with the non-profit organization Trailnet for expertise in creating bicycle and pedestrian friendly zoning ordinances. The City’s goal is to create a code that will promote a style of development that preserves the charm of Crestwood while allowing development that is a “win- win” situation for current residents, new residents, businesses, developers and the City.

### What is a Zoning Code?

The Zoning Code is municipal law that controls the use of property and the density of development in order to order to promote public safety, health and general welfare of the community. The Zoning Code provides standards for site improvements such as parking, lighting, landscaping, building design and links to the Sign Code which provides standards for signage.

## PROJECT TIMELINE



- Public or Target Group Meeting
- P&Z and/or BOA Meeting
- Staff Committee Review Meeting
- Public Hearing

## SCOPE OF WORK

### **PHASE I – Information and Fact Finding**

#### **A. Project Website Creation**

For project updates, the City has created a webpage to house news and information related to the Zoning Code Update available at [www.cityofcrestwood.org/zoningcodeupdate](http://www.cityofcrestwood.org/zoningcodeupdate). The City will provide an email and direct mailer to anyone who signed up for project notifications and post on social media channels.

#### **B. Project Kick-Off Presentation (May 2, 2018 – 7:00 pm)**

PGAV will kick off the Zoning and Sign Code update process at the City's Planning and Zoning Commission meeting on May 2, 2018, 7:00 pm, at the Crestwood Government Center. Attendees will participate in an interactive workshop where they will put pen to paper and discuss the different ways improvements can be made to the future version of the zoning and sign codes. The visioning workshop will be a fun and engaging way for the public to provide input.

#### **C. Zoning and Sign Ordinance Review & Critique**

PGAV will conduct a thorough review of Crestwood's existing Zoning and Sign Ordinances and will describe other zoning techniques, not currently incorporated in the existing Ordinance, which the City may want to consider adopting in order to advance the goals and objectives of the Comprehensive Plan. Specific work tasks will include, but not necessarily be limited to:

- Ordinance text needing clarification including definitions that should be added, updated, or otherwise modified;
- Ordinance language that should be edited to deal with issues/problems identified by City staff and/or deemed appropriate by PGAV;
- Additional uses that should be considered for inclusion as "permitted" or "special" in the district regulations;
- Existing "permitted" or "special" uses that should be omitted from the district regulations for reasons;
- Dimensional, locational, and lighting requirements for signs that should be updated or modified including language provisions that may be needed to recognize recent State or Federal case law; and
- Notation of any provisions, or lack thereof, which may cause the existing Ordinances not to be in compliance with State or Federal case law.

**Deliverable:** PGAV will accompany the annotated ordinance text with a technical memorandum that summarizes the results of the ordinances review and the document will be placed on the website.

## **D. Background and Briefing Sessions**

- The results of Task C will be provided to the members of the Planning and Zoning Commission and City staff that have been identified by the City as members of an “ordinance technical review committee”. PGAV Planners will meet with the City’s ordinance committee to review an example of the proposed zoning and sign code elements and to determine and review the structure and content of the revised code.
- PGAV will discuss the results of the review of the Sign Code (Chapter 22 of the Municipal Code) with the City Planner and the City Attorney.
- A special input session (by invitation) for businesses, commercial and residential builders, and real estate professionals that are active in the Crestwood area to discuss the Phase I work results and receive their input.

**Deliverable:** A written summary of the results of the special input session will be posted to [www.cityofcrestwood.org/zoningcodeupdate](http://www.cityofcrestwood.org/zoningcodeupdate)

## **PHASE II – Ordinance Updates, Work Sessions and Public Hearing**

### **A. Preparation of Draft Ordinances Update**

- PGAV will provide a detailed outline of the recommended revisions to the Zoning and Sign Codes to the City’s review committee for review and discussion.

**Deliverable:** PGAV will prepare a summary of the principal changes and modifications of the Zoning and Sign Codes in order to provide background for the Planning & Zoning Commission, the Mayor and Board of Aldermen, and the public.

### **B. Planning and Zoning Commission/Board of Aldermen/Public Workshop**

- PGAV will attend a joint meeting of the Planning and Zoning Commission and the Board of Aldermen where PGAV will present the key findings of the Ordinance review and critique, present the draft Ordinances, and provide background as to the nature of the changes and to answer questions concerning the preliminary draft. After this meeting, PGAV will prepare the pre-final draft of the Zoning Ordinance.
- PGAV will attend one public hearing on the pre-final draft of the Zoning and Subdivision Regulations.

**Deliverable:** Upon receipt of comments provided during the Public Hearing, PGAV will prepare final versions of each of the ordinances for publication by the City by providing digital copies of each one in Word format.